


Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information				
Building number, street name	Eastgate Square Unit 11		Unit no.	Lot/con.
Municipality	Stoney Creek Ontario	Postal code	Plan number/ other description	
B. Individual who reviews and takes responsibility for design activities				
Name	Eric Canton	Firm	Virtual Creations Inc	
Street address	17 King Street East		Unit no.	Lot/con.
Municipality	Dundas	Postal code	Province	Ontario
Telephone number	(905) 481 1153	Fax number	(905) 481 3643	
E-mail		eric@vcinc.ca		
Cell number		()		
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]				
<input checked="" type="checkbox"/> House	<input type="checkbox"/> HVAC - House	<input checked="" type="checkbox"/> Building Structural		
<input checked="" type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing - House		
<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detecturb, Lighting and Power	<input type="checkbox"/> Plumbing - All Buildings		
<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input type="checkbox"/> On-site Sewage Systems		
Description of designer's work				
2016-062 <i>TENANT IMPROVEMENTS.</i> <i>UNIT 11</i>				
D. Declaration of Designer				
I <u>Eric Canton</u> (print name)		declare that (choose one as appropriate):		
<input checked="" type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: <u>25135</u> Firm BCIN: <u>28844</u>				
<input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____				
<input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____				
I certify that:				
1. The information contained in this schedule is true to the best of my knowledge.				
2. I have submitted this application with the knowledge and consent of the firm.				
Date		Signature of Designer		
<u>2016-11-02</u>				

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1)(c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4 and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issues by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

COMMITMENT TO GENERAL REVIEWS BY ARCHITECT AND ENGINEERS

THIS FORM TO BE COMPLETED BY THE OWNER OR OWNER'S AUTHORIZED AGENT, AND SIGNED BY ALL CONSULTANTS RETAINED FOR GENERAL REVIEWS

Part A - Owner's Undertaking

Permit Application No.

Project Description:

Construction of Temporary Store, Eastgate Square Unit N11

Municipality:

Hamilton, Ontario

75 Centennial Parkway North Unit N11

WHEREAS the Ontario Building Code requires that the project described above be designed and reviewed during construction by an architect, professional engineer or both that are licensed to practice in Ontario;

HOWEVERFOR the Owner, being the person who intends to construct or have the building constructed hereby warrants that:

1. The undersigned architect and/or professional engineers have been retained to provide general reviews of the construction of the building to determine whether the construction is in general conformity with the plans and other documents that form the basis for the issuance of a building permit, in accordance with the performance standards of the Ontario Association of Architects (OAA) and/or Professional Engineers Ontario (PEO);
2. All general review reports by the architect and/or professional engineers will be forwarded promptly to the Chief Building Official, and
3. Should any retained architect or professional engineer cease to provide general reviews for any reason during construction, the Chief Building Official will be notified in writing immediately, and another architect or engineer will be appointed so that general review continues without interruption during construction.

The undersigned hereby certifies that he/she has read and agrees to the above

Name of Owner:

EASTGATE SQUARE CP INC. c/o BENTALL KENNEDY (CANADA) LP

Date:

OCT 31, 2016

Address of Owner:

65 Port Street East Unit 110, Mississauga, Ontario, L5G 4V3

Telephone:

905-278-9229

Signature of Owner:



Print Name:

ANTHONY HASSAN

Fax:

905-271-5081

(or officer of corporation)

Coordinator of the work of all consultants:

Sam Esposito Architect Inc.

Telephone: 905-383-7500 x 21

Address:

548 Upper James St., Hamilton, ON, L7T 2L3

Fax:

905-383-5700

PART B - CONSULTANTS

The undersigned architect and/or professional engineer(s) hereby certify that they have been retained to provide general reviews of the parts of construction of the building indicated, to determine whether the construction is in general conformity with the plans and other documents that form the basis for the issuance of a building permit, in accordance with the performance standards of the OAA and/or PEO.

SHADED PORTION TO BE COMPLETED BY CONSULTANTS

<input checked="" type="checkbox"/> ARCHITECTURAL	<input type="checkbox"/> STRUCTURAL	<input type="checkbox"/> MECHANICAL	<input type="checkbox"/> ELECTRICAL	<input type="checkbox"/> SITE SERVICES	<input type="checkbox"/> OTHER (SPECIFY):
Consultant Name:		Signature:		Print Name:	
<u>Sam Esposito Architect Inc.</u>				<u>Sam Esposito</u>	
Telephone:	Fax:	Address:			Date:
<u>905-383-7500 x 21</u>	<u>905-383-5700</u>	<u>548 Upper James St., Hamilton, ON, L7T 2L3</u>			<u>2016.11.03</u>

<input type="checkbox"/> ARCHITECTURAL	<input type="checkbox"/> STRUCTURAL	<input type="checkbox"/> MECHANICAL	<input type="checkbox"/> ELECTRICAL	<input type="checkbox"/> SITE SERVICES	<input type="checkbox"/> OTHER (SPECIFY):
Consultant Name:		Signature:		Print Name:	
Telephone:	Fax:	Address:			Date:

<input type="checkbox"/> ARCHITECTURAL	<input type="checkbox"/> STRUCTURAL	<input type="checkbox"/> MECHANICAL	<input type="checkbox"/> ELECTRICAL	<input type="checkbox"/> SITE SERVICES	<input type="checkbox"/> OTHER (SPECIFY):
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2016-062				
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2016-11-02				

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Project Information:

2016-062

Eastgate Square Unit 11, Stoney Creek Ontario



Terms and Conditions

License Agreement and Copyright Notice: When you purchase a reproducible set from Virtual Creations Inc, the designer as licensor grants you, a license, the right to use these documents to construct ONE home. All of the plans referenced in this publication are protected under copyright laws and other laws. The designers retains titles and ownership of the original documents and all intellectual property rights in the plans. The construction drawings licensed to you may not be resold or used by any other person. When you purchase a reproducible set, you reserve the right to modify and reproduce the plan, but you are still limited to the construction of one house. Reproducible sets or the modified version of any plan may not be resold or used by any other person to construct a home.


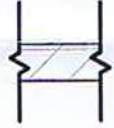


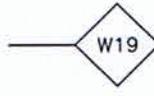
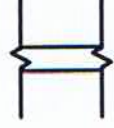


Compliance with Codes: Virtual Creations Inc authorizes the use of this document, expressly conditioned upon your obligation and agreement to strictly comply with all local building codes, ordinances, regulations and requirements - including permits, and inspections at the time of construction and your assurance you will retain the trades necessary to assist in your needs. Due to differences in time and place and continuing changes in Building codes, the plan you requested may need to be modified to comply with the codes in your area. Some minor changes may be made by most professional builders. However, any significant changes including dimensional and structural changes, will require the review of Virtual Creations Inc. Virtual Creations Inc and its designers are not responsible or liable for any changes or modifications made without their express permission, and you accept full responsibility for the accuracy and integrity of any changes or modifications to the plans, and all uses of the plans.


Certification: Virtual Creations Inc can certify these documents for permit in Ontario under Part 9 and Part 4 of the OBC 2012 and do not require an Architect or Structural Engineer as we are qualified by the Ontario Ministry of Housing and Municipal Affairs. However other provinces MAY require an architect or engineer to review and "seal" a blueprint prior to construction. There may be a fee for this service. Please contact your local lumberyard, municipal building department or builders association.

Disclaimer: Substantial care has gone into the creation of our home designs. However, because we cannot provide personal or on-site consultation, supervision or have control over the construction and because of the great variance in local building codes and requirements prior to construction and to limit our liability for any damages due to any deficiencies, omissions or errors to the cost of plans purchased by you. We make no warranty, expressed or implied, including but not limited to any warranty of merchantability or of fitness for a particular purpose with respect to the use or content of these plans.

Home Plans are Copyrighted
All documents created by Virtual Creations Inc are covered by copyright laws and other intellectual property laws of architects and home designers. These laws allow for significant damages or penalties per incident, plus legal fees, for copyright infringement involving any of the plans found in this publication or on our web site. Construction documents WITH A SIGNATURE may not be duplicated. If additional sets are required, they may be purchased at a nominal cost. If structural modifications are needed or if the plan needs to be redrawn, you must return to Virtual Creations Inc to complete the work and issue a new set of drawings at a reasonable fee. Construction documents WITHOUT A SIGNATURE may not be submitted for building permit or plans examination.

Thank you in advance for your compliance with these laws

WALL ASSEMBLIES				
 W17 Wall Tag	 Plan View	 Section View	 Elevation View	1 2 3 4 5 Existing Walls to remain 6 7 8 9
 W19 Wall Tag	 Plan View	 Section View	 Elevation View	1 2 Proposed wood interior partitions wall assembly 3 No FRR Required 4 -1/2" Gypsum Board 5 -2"x4" (nominal) Steel Studs (25 gauge) @ 16" o/c 6 -1/2" Gypsum Board 7 8 9

DOOR ASSEMBLIES	
 D001	Fire-Protection Ratings for Closures -20 minute closure as per OBC 2006 Table 9.10.13.1.(1) (No Fire-Protection Rating for Closures on doors unless otherwise noted)

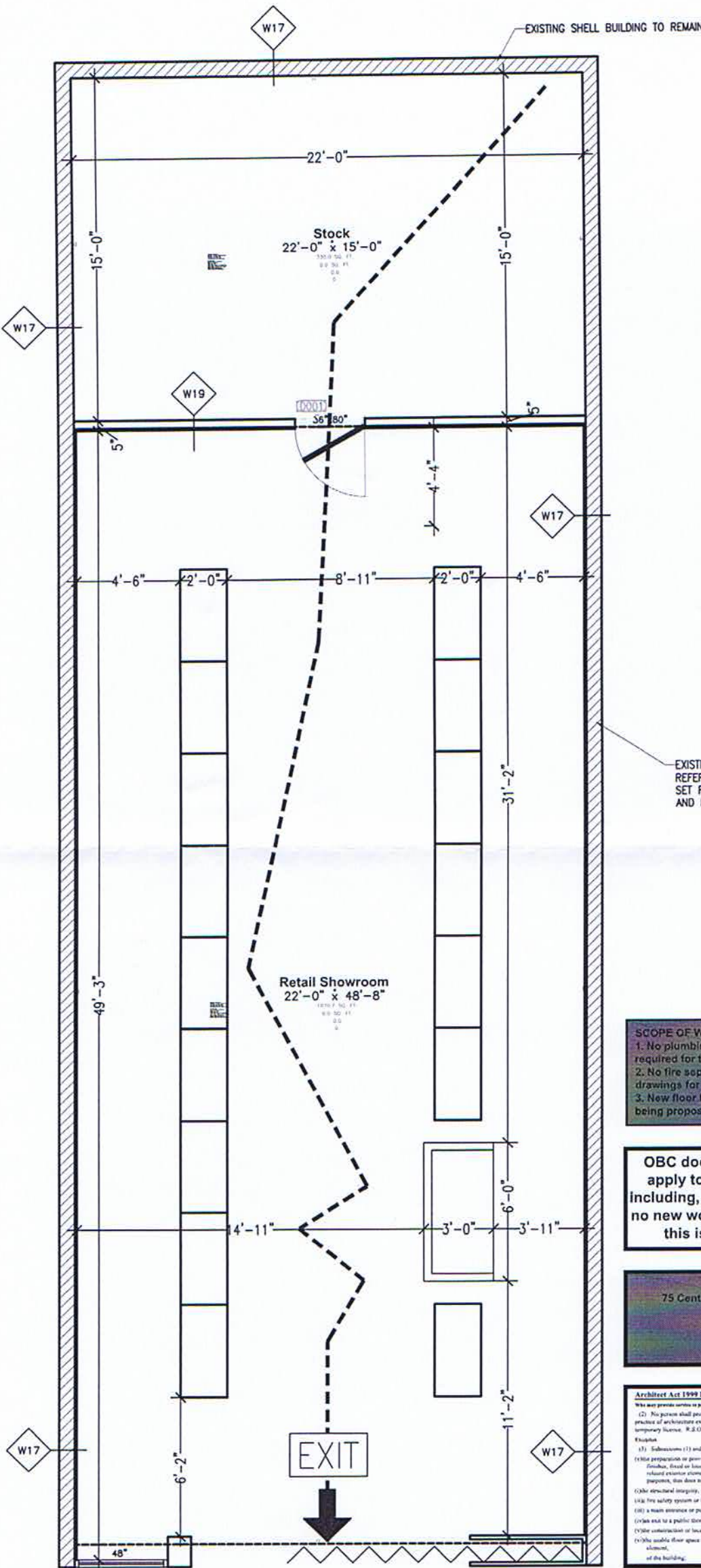


*for OBC review only.

CONSTRUCTION NOTES
(Unless otherwise noted)
ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE 2012 ONTARIO BUILDING CODE REGULATIONS.
ALL DIMENSIONS GIVEN FIRST IN METRIC (mm) FOLLOWED BY IMPERIAL

1.	Issued for Client review	2016.10.31	E.C.
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PROJECT No: 2016-062
 ISSUED: Nov 02 2016
 PROJECT: Eastgate Square Unit 11, Stoney Creek Ontario
 Client: CLIENT
 BCIN No. 28844
 (905) 481 1153
VIRTUAL CREATIONS INC.
 ARCHITECTURAL CONSULTING SERVICES
 Original Signature: 



EXISTING SHELL BUILDING TO REMAIN
REFER TO SHELL BUILDING PERMIT
SET FOR EXISTING FIRE SEPARATIONS
AND RATINGS

SCOPE OF WORK
1. No plumbing, electrical or mechanical work being proposed or required for this basic renovation.
2. No fire separation being proposed or required. Refer to shell building drawings for all existing wall ratings.
3. New floor finishes, new wall finishes and some new partitions walls being proposed.

OBC door requirement does not apply to the existing front door including, latch, hinges etc because no new work is being proposed and this is not a change of use

PROPOSED TENANT SPACE
75 Centennial Pkwy N, Hamilton, ON L8E 2P2 (Eastgate Square, Unit 11)
Existing Group E - Store (Retail)
Proposed Group E - Store (Retail)
Tenant Floor Area = 1070.6667 SQ. FT. (93.4682 SQ. M.)
Occupant Load - 100/3.7 = 27 persons

Architect Act 1999 Exemption for the need of an Architect
Who may provide services to public
(2) The person shall provide for a member of the public a service that is part of the practice of architecture except under and in accordance with a certificate of practice or a temporary license. R.S.O. 1990, c. A.26, s. 11 (2)
Exemption
(1) Subsections (1) and (2) do not apply to:
(i) the preparation or provision of a design for interior space for a building, including finishes, fixed or loose furnishings, equipment, fixtures and partitioning of areas, and related exterior elements such as signs, finishes and glazed openings used for display purposes, that does not affect or is not likely to affect:
(i) the structural integrity,
(ii) the fire safety system or fire separation,
(iii) a main entrance or public corridor on a floor,
(iv) the exit to a public thoroughfare or to the exterior,
(v) the construction or location of an exterior wall, or
(vi) the usable floor space through the addition of a mezzanine, walk or other similar element of the building.

TRAVEL DISTANCE TO NEAREST EXIT
Max. Allowed: 25m (82'-0")
Provided: 21.9m (71'-10")



A First Floor Plan
V01 SCALE 3/16" = 1'-0"

Project Information:

2016-062

Eastgate Square Unit 11, Stoney Creek Ontario



PROJECT No: 2016-062 ISSUED: Nov 02 2016

Original Signature: *[Signature]*

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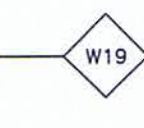
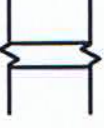
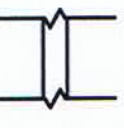

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DOOR ASSEMBLIES

D001 Fire-Protection Ratings for Closures
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28844 PROJECT: Eastgate Square Unit 11, Stoney Creek Ontario
 BCIN No. 4811153 Client: CLIENT
VIRTUAL CREATIONS INC.
 (905) 481 1153
 ARCHITECTURAL CONSULTING SERVICES



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PROJECT No: 2016-062 ISSUED: Nov 02 2016

PROJECT: Eastgate Square Unit 11, Stoney Creek Ontario

Original Signature: *[Signature]*

Client: CLIENT

28844

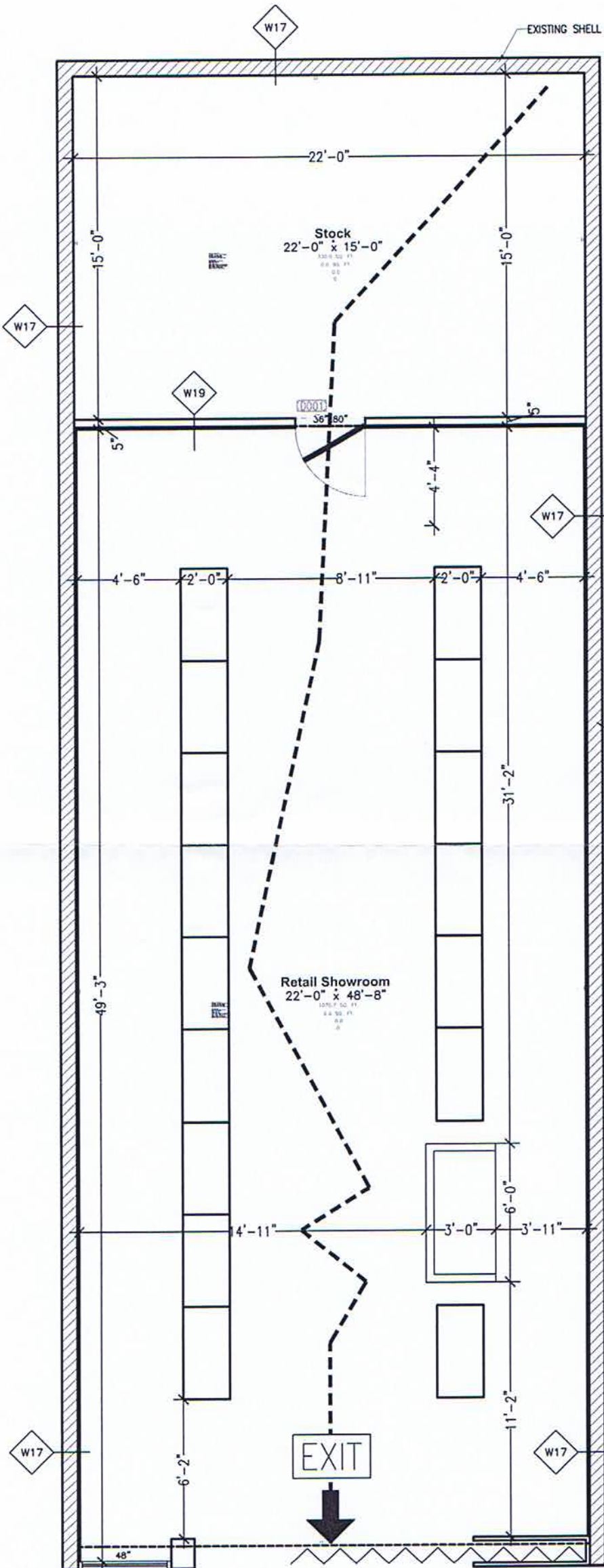
INC.

VIRTUAL CREATIONS

ARCHITECTURAL CONSULTING SERVICES

BCIN No.

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EXISTING SHELL BUILDING TO REMAIN
REFER TO SHELL BUILDING PERMIT
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SCOPE OF WORK
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 Existing Group E - Store (Retail)
 Proposed Group E - Store (Retail)
 Tenant Floor Area = 1070.5667 SQ. FT. (99.4682 SQ. M.)
 Occupant Load - 100/3.7 = 27 persons

Architect Act 1999 Exemption for the need of an Architect
 We are providing services to the public.
 (2) No person shall provide to a member of the public a service that is part of the practice of architecture except under and in accordance with a certificate of practice or a temporary licence. R.S.O. 1990, c. A.25, s. 11 (2).
 Examples:
 (1) Subsections (1) and (2) do not apply to:
 (a) the preparation or provision of a design for interior space for a building, including finishes, fixed or loose furnishings, equipment, fixtures and partitioning of space, and related exterior elements such as signs, finishes and glazed openings used for display purposes, that does not affect or is not likely to affect:
 (i) the structural integrity,
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 (iii) a main entrance or public corridor on a floor,
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